



Home Inspection Report



Inspection Date:
November 20th, 2022

Prepared For:
[REDACTED]

Prepared By:
Clearview Inspections LLC
3454 Oak Alley Court Suite 505
Toledo OH 43606
567-218-1304
Office@clearview-inspect.com

Report Number:
112022CR1

Inspector:
Curtis Reineck

License/Certification #:
OHI.2022006819

Inspector Signature:

A handwritten signature in black ink, appearing to read "C. Reineck".

Report Overview

Scope of Inspection

1. The inspection is a detailed visual inspection that is not technically exhaustive. "Technically exhaustive" means an inspection involving the use of measurements, instruments, testing, calculations, and other means to develop scientific or engineering findings, conclusions, and recommendations.
2. The inspection was completed in accordance with the Standards of Practice. The client was made aware of these standards, and the standards were made available to the client.
3. All areas of visible suspected wood deterioration, in: siding, trim work, soffit, fascia, decking components, etc., and visible, accessible structural components were probed to determine areas of actual wood deterioration. The results of these findings are included in the report. In the majority of cases, wood deterioration, and the cause of the deterioration, require a more invasive inspection to determine the extent of damage, the required repair, and resulting cost.
4. You are advised to seek two professional opinions and acquire estimates of repair for any defects and recommendations documented in this report. We also recommend that all professionals making any repair to the home inspect the defects documented in this report further and conduct a more invasive inspection in order to discover and repair related problems that may be revealed during a more invasive inspection. It is recommended that all repairs, corrections, and cost estimates be completed and documented prior to purchasing the property.
5. This report was designed to be viewed from a computer, tablet, or smart phone. When printing the report, picture quality will be lost. The report is color coded, and, if printed, should be printed in color.
6. Reporting of fogged windows is not a requirement of the standards of practice. However, our inspectors make every effort to determine if sealed windows are fogged, which is an indication of a broken seal. In some instances, depending on the time of day, weather conditions, or cleanliness of the windows, it may be difficult to determine if a window is fogged or has a broken seal. Some windows may not show signs of fogging or moisture between panes of glass under some conditions. If you are concerned about the possibility of fogged windows, you should conduct a final walk through of the property prior to purchase to ensure you are satisfied with the condition of the windows. We make every effort to disclose fogged windows to a client, but cannot be held responsible for fogged windows that were not indicated in this report, because it is not a requirement of the SOP.
7. All directional indications noted in the report are given as if facing the main entry, unless otherwise noted.
8. An indication that an item/component/system or visible portion of an item/component/system were noted in the report as satisfactory indicates that the item/component/system was operating as intended at the time of the inspection, that the visible portions of the item/component/system were free of visible defects, and that the item/component/system did not appear to be reaching the end of its serviceable life. The item/component/system may still have cosmetic defects and defects that were concealed/covered that were not visible. The inspector is not responsible for defects that were concealed/covered and were not visible at the time of the inspection.
9. In cases of homes that were fully occupied, contained stored household goods or staged furniture on the day of the inspection, a walk-through of the home is recommended prior to purchase, to determine if any concealed/covered defects are present that would not have been visible to the inspector on the day of the inspection.
10. An indication in the report of any of the following: not fully tested/evaluated; not visible; only partially visible; not tested; or limited access for any item, component, or system found in the home; is an indication that the item, component, or system could not be fully evaluated, and there may be defects present in the item, component, or system that were not visible. In instances where a satisfactory condition was noted in addition to any of the above listed conditions, only the visible portions of the item, component, or system were inspected and only the visible portions are indicated as satisfactory and there may still be defects present that were not visible.
11. Read the entire report, as something may have been inadvertently left off the summary. We also strive to include informational comments and descriptions in the body of the report that may be of interest to you, these informational comments and descriptions are not included in the summary.

State of Occupancy

Unoccupied

Weather Conditions

20°F and Overcast with a dusting of snow on the ground

Report Summary

Summary

This summary is not the entire report. The complete report may include additional information of interest or concerns to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or attorney.

Further Evaluation Items

There is a crack in a foundation wall on the exterior of the home. **Further evaluation is needed.** This crack may be evidence of structural movement. It is difficult to determine during a limited visual inspection if further cracking or other damage will occur over time. Home inspectors do not perform complete structural evaluations that include calculations or testing. Further cracking or damage may occur if left in this condition. Recommend a qualified contractor/structural engineer evaluate this condition to determine the appropriate course of action and all necessary repairs.

There is an area of missing flashing on the exterior of the home. Damage and moisture intrusion will occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There is deterioration in decking boards on the Deck. Further deterioration will occur if left in this condition. Recommend a skilled professional make all necessary repairs.

A baluster is missing on the Deck. The balusters are not properly spaced. Recommend a skilled professional make all necessary repairs.

There is bounce in the Deck when it is walked on. This is a typical condition that occurs in older homes and homes with over-spanned floor joists. It is difficult to determine if structural movement will occur if left in this condition. The client should consult with a qualified contractor/structural engineer to determine appropriate courses of action and all necessary repairs.

The steps are improperly supported on the Deck. This is not a typical construction method, and damage could occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There are damaged materials on the steps for the Deck. Further damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There is a crack in a wall in the Kitchen. **Further evaluation is needed.** Further damage will occur if left in this condition. This may be evidence of structural movement. A qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs.

A tub faucet leaks in the Master Bathroom. The leak will get worse if left in this condition and further damage may occur. Recommend a qualified plumber make all necessary repairs.

A door jamb is detached/loose in the 1/2 Bath. The door jamb may fully detach, and further damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

Drainage is marginal in a sink in the 1/2 Bath. **Further evaluation may be needed.** Drainage may get worse if left in this condition. Unless a clog can be removed from the drain, and satisfactory drainage can be restored, a qualified plumber should evaluate this condition and make all necessary repairs.

Grout/caulking is needed around a sink in the 1/2 Bath. Water entry and damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There is cracked glass in windows in the Master Bedroom. Further damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There is what appears to be a typical crack in an interior wall in the Master Bedroom. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

There is a crack in a wall in the Master Bedroom. **Further evaluation is needed.** Further damage will occur if left in this condition. This may be evidence of structural movement. A qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs.

Light fixtures are detaching in the Upstairs Bedroom left of the master bedroom. The fixtures may fully detach, and damage will occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There are moisture stains on the floor in the Living Room. **Further evaluation is needed.** These areas were tested with a surface moisture meter and the meter indicated elevated levels of moisture when compared to surrounding areas. These appear to be active leaks/moisture intrusion. Recommend a qualified contractor evaluate these conditions to determine the appropriate course of action and all necessary repairs.

There is sagging in the ceiling in the Hallway. **Further evaluation is needed.** It is difficult to determine if further movement or other damage will occur during a limited visual inspection. Recommend a qualified contractor/structural engineer evaluate this condition to determine the appropriate course of action and all necessary repairs.

There is an electrical outlet that does not appear to be powered in the Landing. The outlet does not appear to be working as designed. **This condition may require further evaluation.** Unless the current owner can inform the client of a switch or breaker that powers this outlet, a qualified electrician should evaluate and make all necessary repairs.

There is a corroded water line/pipe for the Boiler System. Further damage, and leaks may occur if left in this condition. Recommend a qualified plumber make all necessary repairs.

There is a moisture stain near a window in the Basement. **Further evaluation is needed.** This area was tested with a surface moisture meter, and the meter indicated elevated levels of moisture when compared to surrounding areas. This appears to be an active leak/moisture intrusion. Recommend a qualified contractor evaluate this condition to determine the appropriate course of action and all necessary repairs.

Components/Systems Not Operating or Requiring Service

Safety Concerns

A railing is missing on the Deck. **This is a safety concern.** A person is more likely to fall when proper railings are not installed. Recommend a skilled professional make all necessary repairs.

A railing is missing on the Balcony. **This is a safety concern.** A person is more likely to fall when proper railings are not installed. Recommend a skilled professional make all necessary repairs.

There are no returns installed on the handrail for the stairs, and **this is a safety concern.** A person's clothing can catch on railings without proper returns, and a person can fall and be injured. Recommend a skilled professional make all necessary repairs.

There is no GFCI protection on an electrical outlet in the Laundry Area. **This is a safety concern and shock hazard.** Recommend a qualified electrician make repair.

There is no GFCI protection on an electrical outlet in the 1/2 Bath. **This is a safety concern and shock hazard.** Recommend a qualified electrician make repair.

An electrical outlet has an open ground in the Master Bedroom. **This is a safety concern and shock hazard.** Recommend a qualified electrician evaluate and make all necessary repairs.
 A window will not open in the Upstairs Bedroom left of the master bedroom . **This is a safety concern.** This room should have two means of egress in the event of a fire because it is considered a sleeping area in the home. The window is not working as designed. Recommend a skilled professional make all necessary repairs.

An electrical outlet has an open ground in the Upstairs Bedroom left of the master bedroom . **This is a safety concern and shock hazard.** Recommend a qualified electrician evaluate and make all necessary repairs.
 An electrical outlet has an open ground in the Dining Room. **This is a safety concern and shock hazard.** Recommend a qualified electrician evaluate and make all necessary repairs.
 An electrical outlet has an open ground in the Office. **This is a safety concern and shock hazard.** Recommend a qualified electrician evaluate and make all necessary repairs.
 There is no GFCI protection on an electrical outlet in the Basement. **This is a safety concern and shock hazard.** Recommend a qualified electrician make repair.

Items to Monitor

There is an area of improper flashing on the exterior of the home. Damage and moisture intrusion may occur if left in this condition. Recommend a skilled professional make all necessary repairs.
 There is bounce in the Front Porch flooring when it is walked on. This is a typical condition that occurs in older homes and homes with over-spanned floor joists. It is difficult to determine if structural movement will occur if left in this condition. The client should consult with a qualified contractor/structural engineer to determine appropriate courses of action and all necessary repairs.

A door drags on flooring on the Front Porch. The door is not working as designed.

There is a crack in the floor on the Front Porch. It is difficult to determine during a limited visual inspection if further cracking or damage will occur. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

There is deteriorated mortar on the steps for the Front Porch. Further damage will occur if left in this condition. Recommend a skilled professional make all necessary repairs.
 There are what appear to be a typical cracks in the floor in the Laundry Area. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, the areas of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains more information concerning cracks found in the home.
 A sink fixture is loose in the Laundry Area. Damage may occur if left in this condition. Recommend a qualified plumber make all necessary repairs.
 Grout/caulking is deteriorated near the whirlpool/jet tub in the Master Bathroom. Leaks will occur if left in this condition or may have already occurred. Recommend a skilled professional make all necessary repairs.

A sink water supply line is corroded in the Master Bathroom. Further deterioration and a leak may occur if left in this condition. Recommend a qualified plumber make all necessary repairs.
 There is slight separation/cracking in mortar joints in the foundation wall in the Basement. It is difficult to determine if further separation or other damage may occur over time during a limited visual inspection. Home inspectors do not perform complete structural evaluations that include calculations or testing. At a minimum, recommend these areas be sealed by a skilled professional and monitored for any additional separation. If further separation/cracking occurs, a qualified contractor/structural engineer should evaluate this condition to determine an appropriate course of action and all necessary repairs. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor section" which contains additional information concerning cracks that are found in the home.

There is what appears to be a typical crack in the concrete slab/floor in the Basement. Recommend sealing the crack and monitoring. If the crack gets larger, or if more cracks appear, the client should consult with a qualified contractor/structural engineer to determine an appropriate course of action and all necessary repairs. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains more information concerning cracks found in the home.

The Radiator in the living room has corrosion on the pipes, recommend monitoring at minimum. If there are any issues or further damage occurs, call a qualified technician to repair all that is necessary.

Limited Access Areas and Items not Evaluated

1. An indication in the report of any of the following: not fully tested/evaluated; not visible; only partially visible; not tested; or limited access for any item, component, or system found in the home; is an indication that the item, component, or system could not be fully evaluated, and there may be defects present in the item, component, or system that were not visible. In instances where a satisfactory condition was noted in addition to any of the above listed conditions, only the visible portions of the item, component, or system were inspected and only the visible portions are indicated as satisfactory and there may still be defects present that were not visible.

An exterior door was locked, and no key was provided to the inspector in the Garage. The door was not full evaluated. There may be defects present that were not visible or identified.
 The overhead garage door was locked and could not be operated by the inspector in the Garage. The overhead door was not fully evaluated. Recommend the overhead door and associated components be evaluated prior to closing/purchase of the home.

Deferred Cost Items

The drain waste piping in this home is made of cast iron. **This is a deferred cost item.** This type of drain waste piping is outdated and subject to internal corrosion which will eventually result in restricted functional drainage and leaks. Since the corrosion occurs inside the piping, it is not visible to the inspector. The inspector can only evaluate the functional drainage from the associated fixtures, and report any current visible active leaks, or marginal to poor functional drainage. The inspector also indicates the different visible drain waste lines/pipes within the home, and in some cases, if the inspector notes multiple types of pipes/lines, this can be an indication that repairs were made to the plumbing over time, as defects occurred, and more defects may occur in the future. The inspector can only report on the condition of the piping and functional drainage at the time of the inspection. If there were visible leaks present in the drain waste lines/piping, or if the functional drainage was restricted in the associated fixtures, the inspector would include information concerning the defect(s) in the report. The client should consult with a qualified plumber to determine an appropriate course of action. Budgeting for repairs and replacement should also be a consideration. The client may wish to have the piping replaced now.

Receipt/Invoice

Clearview Inspections LLC
3454 Oak Alley Court Suite 505
Toledo OH 43606
567-218-1304

Date: November 20th, 2022
Inspected By: Curtis Reineck
Client: [REDACTED]

Property Address

[REDACTED]

[REDACTED]

Inspection Number: 112022CR1

Payment Method: Cash

Payment Status: Paid

Inspection

Fee

Home Inspection

[REDACTED]

Home Inspection Discount

[REDACTED]

Total

[REDACTED]

Components visible on Exterior

Foundation Walls

Foundation Walls

Only partially visible Crack(s) in foundation wall(s)



Typical cracks found on the exterior wall near the gas meter.



There is a crack in a foundation wall on the exterior of the home.

Comments: There is a crack in a foundation wall on the exterior of the home. **Further evaluation is needed.** This crack may be evidence of structural movement. It is difficult to determine during a limited visual inspection if further cracking or other damage will occur over time. Home inspectors do not perform complete structural evaluations that include calculations or testing. Further cracking or damage may occur if left in this condition. Recommend a qualified contractor/structural engineer evaluate this condition to determine the appropriate course of action and all necessary repairs.

Wall Structure on Exterior

Type of Exterior Wall Structure Not visible Framed

Wall Structure Not visible

Wall Cladding/Trim/Soffit/Eaves/Fascia/Rake

Status/Recommendation Satisfactory

Type(s) of Exterior Wall Cladding Wood

Exterior Wall Cladding Satisfactory

Trim Work

Soffit/Eaves Satisfactory

Fascia/Rake Satisfactory Gutters installed on fascia. Fascia is only partially visible.



Wall Cladding/Trim/Soffit/Eaves/Fascia/Rake

Comments: The fascia, siding, trim, and soffit is all painted.

Flashing on Exterior

Flashing Not visible Improper flashing Missing flashing



There is an area of missing flashing on the exterior of the home.



There is an area of improper flashing on the exterior of the home.

Comments: There is an area of missing flashing on the exterior of the home. Damage and moisture intrusion will occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There is an area of improper flashing on the exterior of the home. Damage and moisture intrusion may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

Caulking on Exterior

Caulking

Deteriorated caulking



There are areas of deteriorated caulking where the driveway meets the house foundation on the exterior of the home.

Comments: There are areas of deteriorated caulking on the exterior of the home. Moisture intrusion and damage will occur if left in this condition. Recommend a skilled professional make all necessary repairs.

Exterior Windows & Doors

Exterior Windows

Satisfactory The condition/operation of windows is reported on in each interior room in the report The condition of screens on the exterior windows is not reported on. The condition of storm windows is not reported on. The energy efficiency of windows and is not calculated or reported on.

Exterior Doors

Satisfactory The condition/operation of doors is reported on in each interior room in the report The condition of storm and screen doors is not reported on The energy efficiency of doors is not calculated or reported on.

Exterior Vent(s)

Exterior Vent(s)

Satisfactory See laundry room for comment(s) concerning dryer vent

Exterior Electrical

Outlet(s)

No visible outlet(s)

Switch(es)

No visible switches

Lighting

Satisfactory

Wiring

No visible exterior wiring

Components visible on Exterior

Grading/Landscaping

Condition

Evidence water pools in yard



There is evidence that water pools in the yard on the exterior of the home.



There is evidence that water pools in the yard on the exterior of the home.

Comments: There is evidence that water pools in the yard on the exterior of the home. In some cases, water that pools near a home can adversely affect the foundation of the home. The client may wish to consult with a qualified contractor to determine the appropriate course of action.

Service Walk(s)

Condition

Crack(s) that appear to be typical



There are cracks that appear to be typical in an exterior service walk.



Service Walk(s) and fences

Comments: There are cracks that appear to be typical in an exterior service walk. This can allow water entry, and further damage may occur, especially during colder months when freezing temperatures occur. Recommend sealing the cracks.

Driveway

Condition

Satisfactory



Driveway

Comments: This driveway is shared with the neighbors.

Front Porch

Status/Recommendation	<input checked="" type="checkbox"/> Satisfactory
Access below porch	<input checked="" type="checkbox"/> No access below porch
Pier(s)/Column(s)	<input checked="" type="checkbox"/> Not visible
Post(s)/Column(s)	<input checked="" type="checkbox"/> Not visible
Beam(s)	<input checked="" type="checkbox"/> Not visible
Beam(s) for Roof Structure	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Only partially visible
Joists	<input checked="" type="checkbox"/> Not visible
Decking/Flooring	<input checked="" type="checkbox"/> Bounce in flooring <input checked="" type="checkbox"/> Crack(s)
Railing(s)/Baluster(s)	<input checked="" type="checkbox"/> Satisfactory
Step(s)	<input checked="" type="checkbox"/> Deterioated mortar
Door(s)	<input checked="" type="checkbox"/> Drags on flooring
Screen(s)	<input checked="" type="checkbox"/> Satisfactory
Ceiling	<input checked="" type="checkbox"/> Satisfactory
Ceiling Fan(s)	<input checked="" type="checkbox"/> None
Electrical Outlet(s)	<input checked="" type="checkbox"/> None
Electrical Switch(es)	<input checked="" type="checkbox"/> None
Lighting	<input checked="" type="checkbox"/> Satisfactory



Front Porch



A door drags on flooring on the Front Porch.



There is bounce in the Front Porch flooring when it is walked on.



There is a crack in the floor on the Front Porch.



There is deteriorated mortar on the steps for the Front Porch.



Front Porch

Comments: A door drags on flooring on the Front Porch. The door is not working as designed.

There is bounce in the Front Porch flooring when it is walked on. This is a typical condition that occurs in older homes and homes with over-spanned floor joists. It is difficult to determine if structural movement will occur if left in this condition. The client should consult with a qualified contractor/structural engineer to determine appropriate courses of action and all necessary repairs.

There is a crack in the floor on the Front Porch. It is difficult to determine during a limited visual inspection if further cracking or damage will occur. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

There is deteriorated mortar on the steps for the Front Porch. Further damage will occur if left in this condition. Recommend a skilled professional make all necessary repairs.

Deck

Status/Recommendation	<input checked="" type="checkbox"/> Satisfactory
Access Below Deck	<input checked="" type="checkbox"/> Satisfactory
Pier(s)/Column(s)	<input checked="" type="checkbox"/> Wood
Post(s)	<input checked="" type="checkbox"/> Satisfactory
Beam(s)	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> 2x10 beam(s)
Joists	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Wood <input checked="" type="checkbox"/> 2x6 joists
Decking	<input checked="" type="checkbox"/> Bounce in flooring <input checked="" type="checkbox"/> Deteriorated wood
Railing(s)/Baluster(s)	<input checked="" type="checkbox"/> Baluster(s) missing <input checked="" type="checkbox"/> Railing(s) missing
Step(s)	<input checked="" type="checkbox"/> Damaged materials <input checked="" type="checkbox"/> Improper support



There are damaged materials on the steps for the Deck.



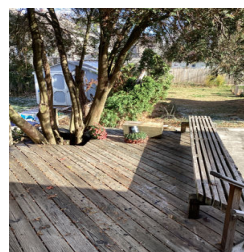
The steps are improperly supported on the Deck.



There is bounce in the Deck when it is walked on.



A baluster is missing on the Deck.



A railing is missing on the Deck.



Deck



There is deterioration in decking boards on the Deck.



There is deterioration in decking boards on the Deck.



There is deterioration in decking boards on the Deck.

Comments: There are damaged materials on the steps for the Deck. Further damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

The steps are improperly supported on the Deck. This is not a typical construction method, and damage could occur if left in this condition. Recommend a skilled professional make all necessary repairs. The joists hangers being used for the steps are not used properly.

There is bounce in the Deck when it is walked on. This is a typical condition that occurs in older homes and homes with over-spanned floor joists. It is difficult to determine if structural movement will occur if left in this condition. The client should consult with a qualified contractor/structural engineer to determine appropriate courses of action and all necessary repairs.

A baluster is missing on the Deck. The balusters are not properly spaced. Recommend a skilled professional make all necessary repairs.

A railing is missing on the Deck. **This is a safety concern.** A person is more likely to fall when proper railings are not installed. Recommend a skilled professional make all necessary repairs.

There is deterioration in decking boards on the Deck. Further deterioration will occur if left in this condition. Recommend a skilled professional make all necessary repairs.

Balcony

Status/Recommendation Satisfactory

Pier(s)/Column(s) Not visible

Post(s) Not visible

Beam(s) Not visible

Joists Not visible

Decking/Flooring Satisfactory

Railing(s)/Baluster(s) None Railing(s) missing

Step(s) None



A railing is missing on the Balcony.



A railing is missing on the Balcony.

Comments: A railing is missing on the Balcony. **This is a safety concern.** A person is more likely to fall when proper railings are not installed. Recommend a skilled professional make all necessary repairs.

Hose Faucet(s)

Condition Not operational



Hose Faucet(s)



A hose faucet is not operational on the exterior of the home.

Comments: A hose faucet is not operational on the exterior of the home. The hose faucet is not working as designed. Unless the current owner knows of another valve that will supply water to this hose faucet, recommend a qualified plumber make all necessary repairs.

Roof of the Home

Status/Recommendation	<input checked="" type="checkbox"/> Satisfactory
Roof coverings were viewed from/with:	<input checked="" type="checkbox"/> Ground
Visibility/Limitations of the roof inspection	<input checked="" type="checkbox"/> All of the roof coverings were visible <input checked="" type="checkbox"/> Snow/ice on roof. The roof coverings were only partially visible or not visible. <input checked="" type="checkbox"/> Some areas of the roof coverings were not visible
Roof Structure Description	<input checked="" type="checkbox"/> Gable <input checked="" type="checkbox"/> Hip
Roof Pitch(es)	<input checked="" type="checkbox"/> Medium <input checked="" type="checkbox"/> Steep
Type(s) of Coverings	<input checked="" type="checkbox"/> 1-2 Layers of asphalt shingles
Approximate Age in Years	<input checked="" type="checkbox"/> 5-10
Condition of Roof Coverings	<input checked="" type="checkbox"/> Satisfactory
Roof Flashing	<input checked="" type="checkbox"/> Not visible
Roof Plumbing Vent Pipe Boot(s)	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Only partially visible
Roof Vent(s)	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Only partially visible
Skylight(s)	<input checked="" type="checkbox"/> None
Roof Drainage System(s)	<input checked="" type="checkbox"/> Portion(s) of the roof do not have gutter(s) <input checked="" type="checkbox"/> Debris in gutter(s) <input checked="" type="checkbox"/> Downspout(s) crushed <input checked="" type="checkbox"/> No splash blocks installed



Crushed downspout under the back deck steps.



There are no splash blocks installed on some of the gutter downspouts for the roof drainage system for the Roof of the Home. Also in this picture there is cracking on the block foundation wall.



No splash block underneath the downspout.



There is debris in the gutters on the Roof of the Home.

Comments: There are no splash blocks installed on some of the gutter downspouts for the roof drainage system for the Roof of the Home. In some cases, water may not be diverted far enough away from the home, washouts may occur, and it could adversely affect the foundation of the home. Recommend installing proper splash blocks.

There is debris in the gutters on the Roof of the Home. The gutters will become clogged and will not drain properly if left in this condition. Damage to associated wood components like fascia, soffit, and roof sheathing may also occur. Recommend a skilled professional clean the debris and make all necessary repairs.

There was snow and ice on the Roof of the Home. This limited the visibility of the roof coverings. The roof could not be fully evaluated. There may be defects present that were not visible.

Some areas of the Roof of the Home were not visible. This limited the roof inspection. There may be defects present that were not identified.

Garage

Foundation Wall(s) Satisfactory Only partially visible Poured concrete

Sill Plates Not visible

Ceiling Satisfactory

Walls Area(s) of noticeable repair

Floor/Concrete Slab Crack(s) that appear to be typical

HVAC Register Vent(s) No HVAC register vent(s) present

Window(s) Limited Access. Window(s) not operated or fully evaluated.

Exterior Door(s) None Locked/will not open. Not Evaluated.

Interior Door(s) None

Electrical Outlet(s) Not tested

Electrical Switch(es) Not tested

Electrical Wiring Not visible

Ceiling Fan(s) None

Lighting Not tested

Deep Sink(s) None



The Garage is shared with the neighbor.



The garage has a sag on the front side, and a low hanging wire.



There is what appears to be a typical crack in the concrete slab/floor in the Garage.



There is an area of noticeable repair to an interior wall in the Garage.

Comments: The garage exterior materials include; Wood siding, wood casing all painted, asphalt shingles with a hip roof system. Open soffit with exposed painted rafters without a fascia board.

The garage has a sag on the roof on the front side, and a low hanging wire, recommended a qualified contractor to evaluate further to repair all that is needed. Call the utility company to evaluate the low hanging wire to repair all that is necessary.

There is what appears to be a typical crack in an interior wall in the Garage. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

There are no light fixtures in the Garage. The room may not be properly illuminated. The client may wish to consult with a qualified contractor to determine the feasibility of installing light fixture(s).

There is what appears to be a typical crack in the concrete slab/floor in the Garage. Recommend sealing the crack and monitoring. If the crack gets larger, or if more cracks appear, the client should consult with a qualified contractor/structural engineer to determine an appropriate course of action and all necessary repairs. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains more information concerning cracks found in the home.

There was limited access to windows in the Garage. The windows could not be evaluated. There may be defects present that were not visible/identified.

An exterior door was locked, and no key was provided to the inspector in the Garage. The door was not full evaluated. There may be defects present that were not visible or identified.

The interior of the garage was partially visible through the windows.

There is an area of noticeable repair to an interior wall in the Garage. Areas of repair may be an indication of a past leak or prior condition that led to damage. In some cases, the cause of the damage may not have been properly repaired, and further damage or leaks may occur. This area was tested with a surface moisture meter, and the meter did not indicate an elevated level of moisture when compared to surrounding areas. At a minimum, recommend monitoring, and if staining, sagging, or other noticeable defects occur, a qualified contractor should evaluate the condition to determine the appropriate course of action and all necessary repairs. The client should consult with the current owner to determine if a history of this repair exists. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains additional information concerning areas of noticeable repair that are found in the home.

Overhead Door Components

Trim Work/Header above Overhead Door Satisfactory

Status/Recommendation of Overhead Door(s) Satisfactory

Overhead Door(s) Locked. Not operated.

Automatic Opener(s) Satisfactory

Safety Reverse(s) Satisfactory

Comments: The overhead garage door was locked and could not be operated by the inspector in the Garage. The overhead door was not fully evaluated. Recommend the overhead door and associated components be evaluated prior to closing/purchase of the home.

Stairs/Steps/Balconies on Interior

Handrail(s)/Guard Rail(s) No returns on handrail(s)

Balusters Baluster(s) missing

Risers/Treads Satisfactory



Stairs/Steps/Balconies on Interior



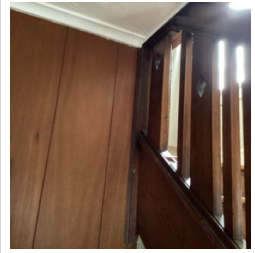
Gaps were found between the stairs and the baseboard going up the main staircase.



Stairs/Steps/Balconies on Interior there appears to be a typical crack on the wall going up the main staircase.



There are no returns installed on the handrail for the stairs, and **this is a safety concern**.



A baluster is missing in a railing on the interior of the home.

Comments: The materials used in the stairways include; wood for the handrails and steps, drywall for the walls and ceilings.

4th step loose going up the main staircase at minimum continue to monitor.

A baluster is missing in a railing on the interior of the home. The balusters are not properly spaced. Recommend a skilled professional make all necessary repairs.

There are no returns installed on the handrail for the stairs, and **this is a safety concern**. A person's clothing can catch on railings without proper returns, and a person can fall and be injured. Recommend a skilled professional make all necessary repairs.

Kitchen

Ceiling	<input checked="" type="checkbox"/> Satisfactory
Walls	<input checked="" type="checkbox"/> Areas(s) of noticeable repair <input checked="" type="checkbox"/> Crack(s) <input checked="" type="checkbox"/> Paint deterioration on wall(s)
Flooring	<input checked="" type="checkbox"/> Satisfactory
HVAC Register Vent(s)	<input checked="" type="checkbox"/> No HVAC register vent(s) present
Window(s)	<input checked="" type="checkbox"/> Satisfactory
Door(s)	<input checked="" type="checkbox"/> Satisfactory
Electrical Outlet(s)	<input checked="" type="checkbox"/> Satisfactory
Electrical Switch(es)	<input checked="" type="checkbox"/> Satisfactory
Ceiling Fan(s)	<input checked="" type="checkbox"/> Satisfactory
Lighting	<input checked="" type="checkbox"/> Satisfactory
Counter(s)	<input checked="" type="checkbox"/> Satisfactory
Cabinet(s)	<input checked="" type="checkbox"/> Satisfactory
Sink(s)	<input checked="" type="checkbox"/> Grout/caulking needed



Kitchen



Kitchen



There is an area of noticeable repair to an interior wall in the Kitchen.



There is a crack in a wall in the Kitchen.



There is an area of paint deterioration on an interior wall in the Kitchen.



Grout/caulking is needed around a sink in the Kitchen.

Comments: The materials used in the kitchen include; wood for the floor and cabinets, granite for the countertops, and drywall for the walls and ceilings.

There is an area of noticeable repair to an interior wall in the Kitchen. Areas of repair may be an indication of a past leak or prior condition that led to damage. In some cases, the cause of the damage may not have been properly repaired, and further damage or leaks may occur. This area was tested with a surface moisture meter, and the meter did not indicate an elevated level of moisture when compared to surrounding areas. At a minimum, recommend monitoring, and if staining, sagging, or other noticeable defects occur, a qualified contractor should evaluate the condition to determine the appropriate course of action and all necessary repairs. The client should consult with the current owner to determine if a history of this repair exists. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains additional information concerning areas of noticeable repair that are found in the home.

There is a crack in a wall in the Kitchen. **Further evaluation is needed.** Further damage will occur if left in this condition. This may be evidence of structural movement. A qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs.

There is an area of paint deterioration on an interior wall in the Kitchen. Further deterioration may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

Caulking is needed on the countertop(s) in the Kitchen. Water entry and damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

Grout/caulking is needed around a sink in the Kitchen. Water entry and damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

Kitchen Appliances

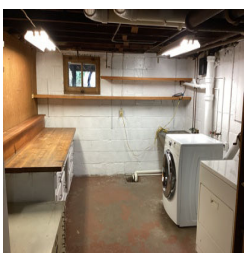
Dishwasher	<input checked="" type="checkbox"/> Satisfactory
Range(s)	<input checked="" type="checkbox"/> Satisfactory
Oven(s)	<input checked="" type="checkbox"/> Satisfactory
Microwave(s)	<input checked="" type="checkbox"/> None
Exhaust Fan(s)	<input checked="" type="checkbox"/> Satisfactory
Disposal(s)	<input checked="" type="checkbox"/> Not properly wired
Trash Compactor	<input checked="" type="checkbox"/> None
Refrigerator(s)	<input checked="" type="checkbox"/> Not required to evaluate

Ice Maker None

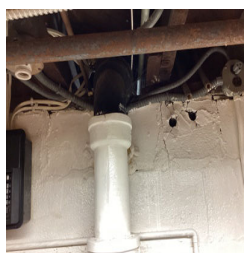
The disposal is not properly wired in the Kitchen.

Comments: The disposal is not properly wired in the Kitchen. Damage to the wiring may occur if left in this condition, and this may also be a safety concern/shock hazard. Recommend a qualified electrician make all necessary repairs.

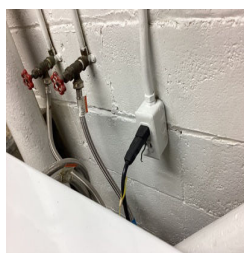
Laundry Area

Ceiling Satisfactory**Walls** Only partially visible Crack(s) that appear to be typical**Flooring** Only partially visible Crack(s) that appear to be typical**HVAC Register Vent(s)** No HVAC register vent(s) present**Window(s)** Satisfactory**Door(s)** None**Electrical Outlet(s)** No GFCI protection on outlet(s). Recommend GFCI protection be installed.**Electrical Switch(es)** Satisfactory**Ceiling Fan(s)** None**Lighting** Bulb(s) missing in fixture(s)**Counter(s)** None**Cabinet(s)** None**Sink(s)** Corroded supply line(s) Fixture(s) loose

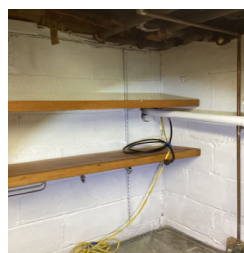
Laundry Area



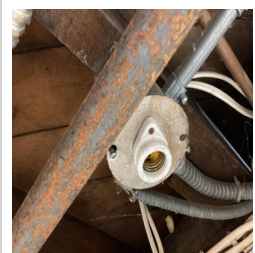
There is what appears to be a typical crack in an interior wall in the Laundry Area.



There is no GFCI protection on an electrical outlet in the Laundry Area.



There is what appears to be a typical crack in an interior wall in the Laundry Area.



Bulb(s) are missing in light fixture(s) in the Laundry Area.



A sink fixture is loose in the Laundry Area.



Sink water supply lines are corroded in the Laundry Area.

Comments: The material used in the laundry room in the basement includes; poured concrete for the floor, concrete block and wood paneling for the walls, and the ceiling was floor joist (wood) for the floor upstairs.

There are what appear to be a typical cracks in the floor in the Laundry Area. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, the areas of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains more information concerning cracks found in the home.

There is no GFCI protection on an electrical outlet in the Laundry Area. **This is a safety concern and shock hazard.** Recommend a qualified electrician make repair.

There is what appears to be a typical crack in an interior wall in the Laundry Area. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

Bulb(s) are missing in light fixture(s) in the Laundry Area. The the light fixture(s) could not be fully evaluated. Recommend installing light bulbs so that the fixture(s) can be evaluated. If the fixtures fail to illuminate a qualified electrician should evaluate the fixture(s), and make all necessary repairs.

A sink fixture is loose in the Laundry Area. Damage may occur if left in this condition. Recommend a qualified plumber make all necessary repairs.

Sink water supply lines are corroded in the Laundry Area. Further deterioration and a leak may occur if left in this condition. Recommend a qualified plumber make all necessary repairs.

Washer Plumbing/Dryer Venting

Washer Plumbing Satisfactory Only partially visible Washer drain and water supply not evaluated

Dryer Venting Satisfactory Dryer exhaust ductwork is not fully evaluated. The ductwork must be cleaned regularly.

Comments: 1. The inside of the the ductwork for the dryer exhaust could only inspected from the ductwork openings on the interior and exterior of the home, if the openings were accessible. Dryer ductwork must be maintained/cleaned at least once a year. It is impossible to determine if the entire length of ductwork is free of lint buildup during a limited visual inspection. According to the standards of practice, washers and dryers are not considered built in appliances and are not operated during a home inspection. The client should have a skilled professional clean the ductwork routinely, and the client may wish to have it cleaned now, or consult with the current owner to determine when the ductwork was last cleaned.

Master Bathroom

Ceiling Satisfactory

Walls Satisfactory

Flooring Satisfactory

HVAC Register Vent(s) No HVAC register vent(s) present

Window(s) Satisfactory

Door(s) Satisfactory

Electrical Outlet(s) Satisfactory

Electrical Switch(es) Satisfactory

Exhaust Fan(s) Satisfactory

Lighting Satisfactory

Ceiling Fan(s) None



Master Bathroom



Master Bathroom

Cabinets/Plumbing

Counter(s) Satisfactory

Cabinets Satisfactory

Sink(s) Corroded supply line(s)

Toilet(s) Satisfactory

Shower(s) Satisfactory

Tub(s) Faucet(s) leak

Whirlpool/Jet Tub None Grout/caulking deteriorated



A sink water supply line is corroded in the Master Bathroom.



A tub hot faucet knob leaks in the Master Bathroom.



Grout/caulking is deteriorated near the whirlpool/jet tub in the Master Bathroom.

Comments: The materials used in the master bathroom include; tile for the flooring and drywall for the walls and the ceiling.

A sink water supply line is corroded in the Master Bathroom. Further deterioration and a leak may occur if left in this condition. Recommend a qualified plumber make all necessary repairs.

A tub faucet leaks in the Master Bathroom. The leak will get worse if left in this condition and further damage may occur. Recommend a qualified plumber make all necessary repairs.

Grout/caulking is deteriorated near the whirlpool/jet tub in the Master Bathroom. Leaks will occur if left in this condition or may have already occurred. Recommend a skilled professional make all necessary repairs.

1/2 Bath

Ceiling Satisfactory

Walls Satisfactory

Flooring Satisfactory

HVAC Register Vent(s) Satisfactory

Window(s) None

Door(s) Jamb detached/loose

Electrical Outlet(s) No GFCI protection on outlet(s). Recommend GFCI protection be installed.

Electrical Switch(es) Satisfactory

Exhaust Fan(s) Satisfactory

Lighting Satisfactory

Ceiling Fan(s) None



1/2 Bath



In the half bath on the main floor the exhaust fan is behind the cabinet, the fan may not operate properly, recommend for further evaluation from a qualified contractor to fix all repairs necessary.



A door jamb is detached/loose in the 1/2 Bath.



There is no GFCI protection on an electrical outlet in the 1/2 Bath.

Comments: A door jamb is detached/loose in the 1/2 Bath. The door jamb may fully detach, and further damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There is no GFCI protection on an electrical outlet in the 1/2 Bath. **This is a safety concern and shock hazard.** Recommend a qualified electrician make repair.

Cabinets/Plumbing

Counter(s) Satisfactory

Cabinets Satisfactory

Sink(s) Drainage marginal in sink(s) Grout/caulking needed

Toilet(s) Satisfactory



Grout/caulking is needed around a sink in the 1/2 Bath.

Comments: Grout/caulking is needed around a sink in the 1/2 Bath. Water entry and damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

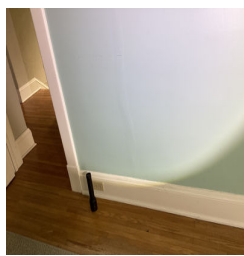
Drainage is marginal in a sink in the 1/2 Bath. **Further evaluation may be needed.** Drainage may get worse if left in this condition. Unless a clog can be removed from the drain, and satisfactory drainage can be restored, a qualified plumber should evaluate this condition and make all necessary repairs.

Master Bedroom

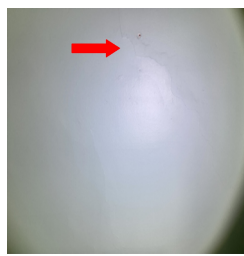
Ceiling	<input checked="" type="checkbox"/> Satisfactory
Walls	<input checked="" type="checkbox"/> Areas(s) of noticeable repair <input checked="" type="checkbox"/> Crack(s) <input checked="" type="checkbox"/> Crack(s) that appear to be typical
Flooring	<input checked="" type="checkbox"/> Area rug(s) covering flooring. Only partially visible. <input checked="" type="checkbox"/> Hole(s) in flooring
HVAC Register Vent(s)	<input checked="" type="checkbox"/> No HVAC register vent(s) present
Window(s)	<input checked="" type="checkbox"/> Difficult to open <input checked="" type="checkbox"/> Glass cracked
Door(s)	<input checked="" type="checkbox"/> Satisfactory
Electrical Outlet(s)	<input checked="" type="checkbox"/> Open ground(s)
Electrical Switch(es)	<input checked="" type="checkbox"/> Satisfactory
Ceiling Fan(s)	<input checked="" type="checkbox"/> None
Lighting	<input checked="" type="checkbox"/> Satisfactory



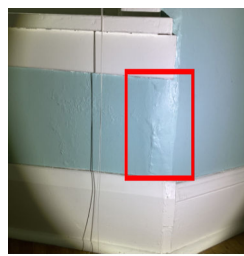
There is cracked glass in windows in the Master Bedroom.



There is an area of noticeable repair to an interior wall in the Master Bedroom.



There is what appears to be a typical crack in an interior wall in the Master Bedroom.



There is an area of noticeable repair to an interior wall in the Master Bedroom.



There are holes in the floor in the Master Bedroom.



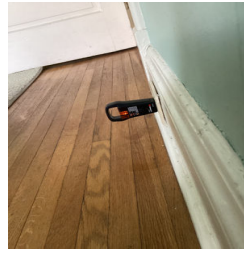
There is a crack in a wall in the Master Bedroom.



Master Bedroom closet appears to have a typical crack on the wall, recommend a qualified contractor to repair all that is necessary.



Master Bedroom closet appears to have a crack on the wall, recommend a qualified contractor to repair all that is necessary.



An electrical outlet has an open ground in the Master Bedroom.



There are windows that are difficult to open in the Master Bedroom.

Comments: There is cracked glass in windows in the Master Bedroom. Further damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There is what appears to be a typical crack in an interior wall in the Master Bedroom. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

There is an area of noticeable repair to an interior wall in the Master Bedroom. Areas of repair may be an indication of a past leak or prior condition that led to damage. In some cases, the cause of the damage may not have been properly repaired, and further damage or leaks may occur. This area was tested with a surface moisture meter, and the meter did not indicate an elevated level of moisture when compared to surrounding areas. At a minimum, recommend monitoring, and if staining, sagging, or other noticeable defects occur, a qualified contractor should evaluate the condition to determine the appropriate course of action and all necessary repairs. The client should consult with the current owner to determine if a history of this repair exists. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains additional information concerning areas of noticeable repair that are found in the home.

There are holes in the floor in the Master Bedroom. Further damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There is a crack in a wall in the Master Bedroom. **Further evaluation is needed.** Further damage will occur if left in this condition. This may be evidence of structural movement. A qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs.

An electrical outlet has an open ground in the Master Bedroom. **This is a safety concern and shock hazard.** Recommend a qualified electrician evaluate and make all necessary repairs.

There are windows that are difficult to open in the Master Bedroom. The windows are not working as designed. Recommend a skilled professional make all necessary repairs.

There was a large area rug in the Master Bedroom. The flooring was not visible in this area. There may be defects present that were not visible.

Upstairs Bedroom left of the master bedroom

Ceiling	<input checked="" type="checkbox"/> Satisfactory
Walls	<input checked="" type="checkbox"/> Satisfactory
Flooring	<input checked="" type="checkbox"/> Satisfactory
HVAC Register Vent(s)	<input checked="" type="checkbox"/> No HVAC register vent(s) present
Window(s)	<input checked="" type="checkbox"/> Will not open
Door(s)	<input checked="" type="checkbox"/> Satisfactory
Electrical Outlet(s)	<input checked="" type="checkbox"/> Open ground(s) <input checked="" type="checkbox"/> Outlet(s) not powered

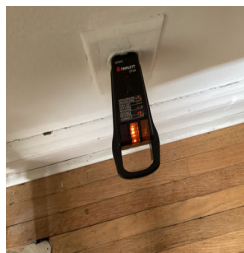
Electrical Switch(es) Satisfactory

Ceiling Fan(s) None

Lighting Detaching fixture(s)



Upstairs Bedroom left of the master bedroom



An electrical outlet has an open ground in the Upstairs Bedroom left of the master bedroom .



There is an electrical outlet that does not appear to be powered in the Upstairs Bedroom left of the master bedroom .



Upstairs Bedroom left of the master bedroom closet



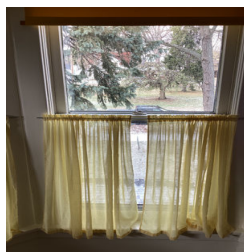
Upstairs Bedroom left of the master bedroom baseboard quarter round loose.



Upstairs Bedroom left of the master bedroom baseboard quarter round loose.



Light fixtures are detaching in the Upstairs Bedroom left of the master bedroom .



A window will not open in the Upstairs Bedroom left of the master bedroom .

Comments: An electrical outlet has an open ground in the Upstairs Bedroom left of the master bedroom . **This is a safety concern and shock hazard.** Recommend a qualified electrician evaluate and make all necessary repairs.

There is an electrical outlet that does not appear to be powered in the Upstairs Bedroom left of the master bedroom . The outlet does not appear to be working as designed. **This condition may require further evaluation.** Unless the current owner can inform the client of a switch or breaker that powers this outlet, a qualified electrician should evaluate and make all necessary repairs.

Light fixtures are detaching in the Upstairs Bedroom left of the master bedroom . The fixtures may fully detach, and damage will occur if left in this condition. Recommend a skilled professional make all necessary repairs.

A window will not open in the Upstairs Bedroom left of the master bedroom . **This is a safety concern.** This room should have two means of egress in the event of a fire because it is considered a sleeping area in the home. The window is not working as designed. Recommend a skilled professional make all necessary repairs.

Living Room

Ceiling Satisfactory

Walls Satisfactory

Flooring Moisture stain(s) on flooring. Appears to be an active leak(s) or moisture intrusion

HVAC Register Vent(s) No HVAC register vent(s) present

Window(s) Satisfactory

Door(s) Satisfactory

Electrical Outlet(s) Satisfactory

Electrical Switch(es) Satisfactory

Ceiling Fan(s) None

Lighting None



Living Room



There are moisture stains on the floor in the Living Room.



Living Room Radiator

Comments: There are no light fixtures in the Living Room. The room may not be properly illuminated. The client may wish to consult with a qualified contractor to determine the feasibility of installing light fixture(s).

There are moisture stains on the floor in the Living Room. Further evaluation is needed. These areas were tested with a surface moisture meter and the meter indicated elevated levels of moisture when compared to surrounding areas. These appear to be active leaks/moisture intrusion. Recommend a qualified contractor evaluate these conditions to determine the appropriate course of action and all necessary repairs.

The Radiator in the living room has corrosion on the pipes, recommend monitoring at minimum. If there are any issues or further damage occurs, call a qualified technician to repair all that is necessary.

Dining Room

Ceiling Crack(s) that appear to be typical

Walls Crack(s) that appear to be typical

Flooring Satisfactory

HVAC Register Vent(s) No HVAC register vent(s) present

Window(s) Limited Access. Window(s) not operated or fully evaluated.

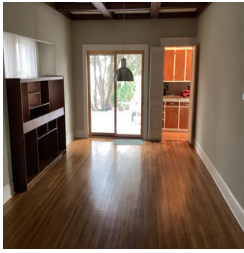
Door(s) Satisfactory

Electrical Outlet(s) Limited access in room. Not all outlet(s) were tested. Open ground(s)

Electrical Switch(es) Satisfactory

Ceiling Fan(s) None

Lighting Satisfactory



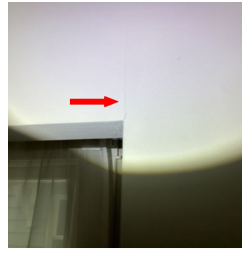
Dining Room



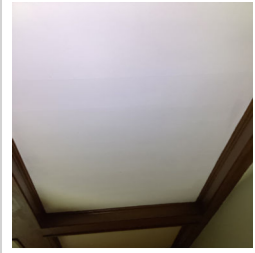
There was limited access to windows in the Dining Room.



There is what appears to be a typical crack in an interior wall in the Dining Room.



There is what appears to be a typical crack in an interior wall in the Dining Room.



There is what appears to be a typical crack in the ceiling in the Dining Room.



There is what appears to be a typical crack in the ceiling in the Dining Room.



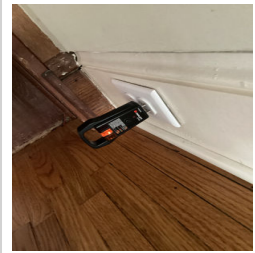
There is what appears to be a typical crack in the ceiling in the Dining Room.



There is what appears to be a typical crack in the ceiling in the Dining Room.



An electrical outlet has an open ground in the Dining Room.



An electrical outlet has an open ground in the Dining Room.

Comments: There was limited access to windows in the Dining Room. The windows could not be evaluated. There may be defects present that were not visible/identified.

There is what appears to be a typical crack in an interior wall in the Dining Room. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

There is what appears to be a typical crack in the ceiling in the Dining Room. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

An electrical outlet has an open ground in the Dining Room. **This is a safety concern and shock hazard.** Recommend a qualified electrician evaluate and make all necessary repairs.

Hallway

Ceiling	<input checked="" type="checkbox"/> Sagging in ceiling
Walls	<input checked="" type="checkbox"/> Satisfactory
Flooring	<input checked="" type="checkbox"/> Satisfactory
HVAC Register Vent(s)	<input checked="" type="checkbox"/> No HVAC register vent(s) present
Window(s)	<input checked="" type="checkbox"/> None
Door(s)	<input checked="" type="checkbox"/> Satisfactory
Electrical Outlet(s)	<input checked="" type="checkbox"/> Satisfactory
Electrical Switch(es)	<input checked="" type="checkbox"/> Satisfactory
Ceiling Fan(s)	<input checked="" type="checkbox"/> None
Lighting	<input checked="" type="checkbox"/> Satisfactory



Hallway



There is sagging in the ceiling in the Hallway.

Comments: There is sagging in the ceiling in the Hallway. **Further evaluation is needed.** It is difficult to determine if further movement or other damage will occur during a limited visual inspection. Recommend a qualified contractor/structural engineer evaluate this condition to determine the appropriate course of action and all necessary repairs.

Landing

Ceiling Satisfactory

Walls Area(s) of noticeable repair Crack(s) that appear to be typical

Flooring Hole(s) in flooring

HVAC Register Vent(s) Satisfactory

Window(s) Satisfactory

Door(s) None

Electrical Outlet(s) Outlet(s) not powered

Electrical Switch(es) Satisfactory

Ceiling Fan(s) None

Lighting Satisfactory



Landing



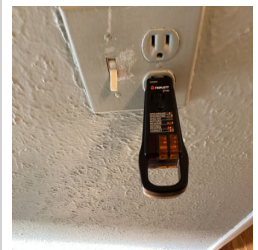
There is what appears to be a typical crack in an interior wall in the Landing.



There are holes in the floor in the Landing.



There is an area of noticeable repair to an interior wall in the Landing.



There is an electrical outlet that does not appear to be powered in the Landing.

Comments: There is what appears to be a typical crack in an interior wall in the Landing. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

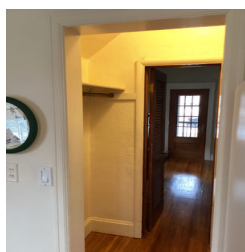
There are holes in the floor in the Landing. Further damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

There is an area of noticeable repair to an interior wall in the Landing. Areas of repair may be an indication of a past leak or prior condition that led to damage. In some cases, the cause of the damage may not have been properly repaired, and further damage or leaks may occur. This area was tested with a surface moisture meter, and the meter did not indicate an elevated level of moisture when compared to surrounding areas. At a minimum, recommend monitoring, and if staining, sagging, or other noticeable defects occur, a qualified contractor should evaluate the condition to determine the appropriate course of action and all necessary repairs. The client should consult with the current owner to determine if a history of this repair exists. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains additional information concerning areas of noticeable repair that are found in the home.

There is an electrical outlet that does not appear to be powered in the Landing. The outlet does not appear to be working as designed. **This condition may require further evaluation.** Unless the current owner can inform the client of a switch or breaker that powers this outlet, a qualified electrician should evaluate and make all necessary repairs.

Closet between kitchen and living room

Ceiling	<input checked="" type="checkbox"/> Satisfactory
Walls	<input checked="" type="checkbox"/> Areas(s) of noticeable repair <input checked="" type="checkbox"/> Crack(s) that appear to be typical
Flooring	<input checked="" type="checkbox"/> Satisfactory
HVAC Register Vent(s)	<input checked="" type="checkbox"/> Satisfactory
Window(s)	<input checked="" type="checkbox"/> Satisfactory
Door(s)	
Electrical Outlet(s)	<input checked="" type="checkbox"/> No visible outlet(s)
Electrical Switch(es)	<input checked="" type="checkbox"/> Satisfactory
Ceiling Fan(s)	<input checked="" type="checkbox"/> None
Lighting	<input checked="" type="checkbox"/> Satisfactory



Closet between kitchen and living room



There is what appears to be a typical crack in an interior wall in the Closet between kitchen and living room.



There is what appears to be a typical crack in an interior wall in the Closet between kitchen and living room.



There is an area of noticeable repair to an interior wall in the Closet between kitchen and living room.

Comments: There is what appears to be a typical crack in an interior wall in the Closet between kitchen and living room. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

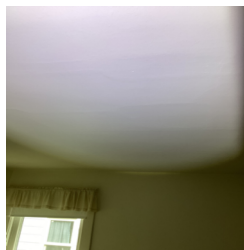
There is an area of noticeable repair to an interior wall in the Closet between kitchen and living room. Areas of repair may be an indication of a past leak or prior condition that led to damage. In some cases, the cause of the damage may not have been properly repaired, and further damage or leaks may occur. This area was tested with a surface moisture meter, and the meter did not indicate an elevated level of moisture when compared to surrounding areas. At a minimum, recommend monitoring, and if staining, sagging, or other noticeable defects occur, a qualified contractor should evaluate the condition to determine the appropriate course of action and all necessary repairs. The client should consult with the current owner to determine if a history of this repair exists. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains additional information concerning areas of noticeable repair that are found in the home.

Office

Ceiling	<input checked="" type="checkbox"/> Crack(s) that appear to be typical
Walls	<input checked="" type="checkbox"/> Crack(s) that appear to be typical
Flooring	<input checked="" type="checkbox"/> Area rug(s) covering flooring. Only partially visible.
HVAC Register Vent(s)	<input checked="" type="checkbox"/> No HVAC register vent(s) present
Window(s)	<input checked="" type="checkbox"/> Satisfactory
Door(s)	<input checked="" type="checkbox"/> Difficult to open/close
Electrical Outlet(s)	<input checked="" type="checkbox"/> Open ground(s)
Electrical Switch(es)	<input checked="" type="checkbox"/> Satisfactory
Ceiling Fan(s)	<input checked="" type="checkbox"/> None
Lighting	<input checked="" type="checkbox"/> Satisfactory



Office



There is what appears to be a typical crack in the ceiling in the Office.



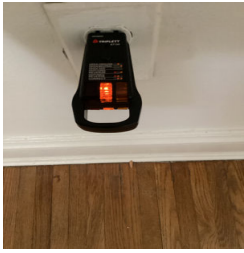
There is what appears to be a typical crack in an interior wall in the Office.



A door is difficult to open/close in the Office.



An electrical outlet has an open ground in the Office.



An electrical outlet has an open ground in the Office.



Office closet



Office closet appears to have a crack on the wall recommend a qualified contractor to repair all that is necessary.



Office closet appears to have a crack on the ceiling, recommend a qualified contractor to repair all that is necessary.



Office closet door doesn't shut properly

Comments: There is what appears to be a typical crack in the ceiling in the Office. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

There is what appears to be a typical crack in an interior wall in the Office. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

There were large area rugs in the Office. The flooring was not visible in these areas. There may be defects present that were not visible.

A door is difficult to open/close in the Office. The door is not working as designed. Recommend a skilled professional make all necessary repairs.

An electrical outlet has an open ground in the Office. **This is a safety concern and shock hazard.** Recommend a qualified electrician evaluate and make all necessary repairs.

Bonus Room

Ceiling	<input checked="" type="checkbox"/> Crack(s) <input checked="" type="checkbox"/> Damage to ceiling <input checked="" type="checkbox"/> Nail pop(s)
Walls	<input checked="" type="checkbox"/> Satisfactory
Flooring	<input checked="" type="checkbox"/> Satisfactory
HVAC Register Vent(s)	<input checked="" type="checkbox"/> No HVAC register vent(s) present
Window(s)	<input checked="" type="checkbox"/> Satisfactory
Door(s)	<input checked="" type="checkbox"/> Satisfactory
Electrical Outlet(s)	<input checked="" type="checkbox"/> Hot & neutral(s) reversed <input checked="" type="checkbox"/> Open ground(s)
Electrical Switch(es)	<input checked="" type="checkbox"/> Satisfactory
Ceiling Fan(s)	<input checked="" type="checkbox"/> None
Lighting	<input checked="" type="checkbox"/> Some bulb(s) in fixture(s) failed to illuminate



Bonus Room



The hot and neutral wires appear to be reversed on an electrical outlet in the Bonus Room.



There is an area of damage to the ceiling in the Bonus Room.



An electrical outlet has an open ground in the Bonus Room.



Bonus Room



There is a crack in the ceiling in the Bonus Room.



There is a crack in the ceiling in the Bonus Room.



There is a crack in the ceiling in the Bonus Room.



There is a crack in the ceiling in the Bonus Room.



There is a crack in the ceiling in the Bonus Room.



There is a crack in the ceiling in the Bonus Room.



There is a crack in the ceiling in the Bonus Room.



There are nail pops on the ceiling in the Bonus Room.



Some light bulb(s) in a fixture failed to illuminate in the Bonus Room.

Comments: The hot and neutral wires appear to be reversed on an electrical outlet in the Bonus Room. **This is a safety concern.** Recommend a qualified electrician evaluate this condition and make all necessary adjustments/repairs.

There is an area of damage to the ceiling in the Bonus Room. Further damage may occur if left in this condition. Recommend a skilled professional make all necessary repairs.

An electrical outlet has an open ground in the Bonus Room. **This is a safety concern and shock hazard.** Recommend a qualified electrician evaluate and make all necessary repairs.

There is a crack in the ceiling in the Bonus Room. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains more information concerning cracks found in the home.

There are nail pops on the ceiling in the Bonus Room. This is a common occurrence in homes with drywall ceilings. Further damage may still occur if left in this condition. Recommend a skilled professional make all necessary repairs.

Some light bulb(s) in a fixture failed to illuminate in the Bonus Room. The fixture is not working as designed. The light bulb(s) in the fixture should be replaced with new bulb(s), and if all the light bulbs in the fixture still fail to illuminate, a qualified electrician should evaluate the fixture/circuit to determine the appropriate course of action and all necessary repairs.

Plumbing

Water & Fuel Supply Dist./Drain Waste Piping

Main Water Shutoff Location At meter

Main Water Supply Line Satisfactory Copper

Water Supply/Distribution Lines Satisfactory Only partially visible Copper Only visible piping/lines can be evaluated

Drain Waste and Vent Piping (DWV) Only partially visible Cast iron Only visible piping can be evaluated Septic/sewer system was not evaluated.

Main Gas/Fuel Shutoff Location Satisfactory At gas meter, no others were found, special tool required to turn off gas

Gas/Fuel Lines Satisfactory Only partially visible Black iron Corrugated Stainless Steel Tubing (CSST) Only visible piping/lines can be evaluated

Interior Fuel Storage None installed



A water shutoff valve appears to be located at the meter, and no others were found by the inspector.



The drain waste piping in this home is made of cast iron.

Comments: A water shutoff valve appears to be located at the meter, and no others were found by the inspector. The client should still consult with the current owner to determine if any other water shutoff valves are located at the property or in the home. A special tool is required to shut the water off at the meter. The tool can typically be purchased at home improvement stores, and it is recommended the client keep the tool on hand in case of water leaks.

The drain waste piping in this home is made of cast iron. **This is a deferred cost item.** This type of drain waste piping is outdated and subject to internal corrosion which will eventually result in restricted functional drainage and leaks. Since the corrosion occurs inside the piping, it is not visible to the inspector. The inspector can only evaluate the functional drainage from the associated fixtures, and report any current visible active leaks, or marginal to poor functional drainage. The inspector also indicates the different visible drain waste lines/pipes within the home, and in some cases, if the inspector notes multiple types of pipes/lines, this can be an indication that repairs were made to the plumbing over time, as defects occurred, and more defects may occur in the future. The inspector can only report on the condition of the piping and functional drainage at the time of the inspection. If there were visible leaks present in the drain waste lines/piping, or if the functional drainage was restricted in the associated fixtures, the inspector would include information concerning the defect(s) in the report. The client should consult with a qualified plumber to determine an appropriate course of action. Budgeting for repairs and replacement should also be a consideration. The client may wish to have the piping replaced now.

The only gas shutoff located by the inspector was the gas shutoff as the gas meter. A special tool is required to shutoff the gas at the meter. Recommend consulting with the current owner to determine if another shutoff valve exists. If one does not exist, a qualified plumber should install one.

Smoke and Carbon Monoxide Alarm(s)

Smoke Alarm(s) Satisfactory Recommend adding additional detectors

Carbon Monoxide (CO) Detector(s) Satisfactory Recommend adding additional detectors



Smoke and Carbon Monoxide Alarm(s) in basement

Comments: Recommend to add more smoke alarms and CO detectors throughout the home.

Fireplace in the Living Room

Description	<input checked="" type="checkbox"/> Wood burning fireplace
Operation	<input checked="" type="checkbox"/> Wood burning fireplace not operated
Damper	<input checked="" type="checkbox"/> Satisfactory
Flue	<input checked="" type="checkbox"/> Only partially visible
Firebox	<input checked="" type="checkbox"/> Satisfactory
Blower	<input checked="" type="checkbox"/> None installed
Hearth Extension	<input checked="" type="checkbox"/> None
Mantle	<input checked="" type="checkbox"/> None



Fireplace in the Living Room



Fireplace in the Living Room, the finish piece around the exhaust pipe is out of place.

Comments: The Fireplace in the Living Room is a wood burning fireplace. The fireplace was not fully evaluated. The Chimney Safety Institute of America developed 3 levels of fireplace inspections. More information concerning fireplace inspections can be found at <https://www.csia.org/inspections.html>. Wood burning fireplaces are not fully evaluated by home inspectors, and it is highly recommended that a qualified chimney sweep inspect the fireplace and associated components.

Boiler System

Boiler Heating System

Status/Recommendation Satisfactory

Boiler System Description

Brand:

Weil McClain

Approx. age in years:

5

Location of Boiler System:

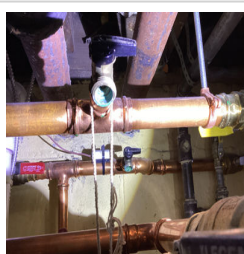
Basement

 Hot water type system Radiators present**Overall Condition & Operation** Satisfactory**Heat Exchanger** Sealed not visible**Combustion Air Intake/Exhaust** Satisfactory**Carbon Monoxide (CO)** Not tested**Fuel Line(s)** Satisfactory**Pressure Gauge(s)** Satisfactory**Water Lines/Pipes** Corroded water line(s)**Elec. Disconnect** Satisfactory

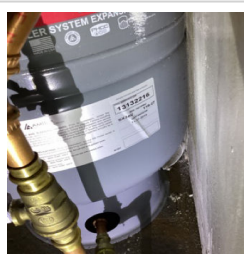
Boiler Heating System



Boiler Heating System



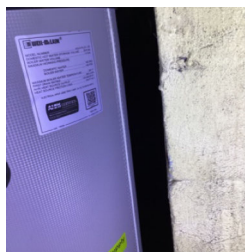
There is a corroded water line/pipe for the Boiler System.



Boiler Heating System



Boiler Heating System



Boiler Heating System

Comments: The boiler system is also used for the hot water throughout the home. The storage tank capacity is 40 gallons.

There is a corroded water line/pipe for the Boiler System. Further damage, and leaks may occur if left in this condition. Recommend a qualified plumber make all necessary repairs.

The readily openable access cover(s) for the Boiler System were not removed by the inspector. There may be defects present that were not visible/identified.

Basement

Basement Structure

Status/Recommendation Satisfactory**Foundation Wall(s)** Only partially visible Concrete block Separation in mortar joint(s) in foundation wall(s)**Beam(s)/Girder(s)** Satisfactory 2x10 beams

Sill Plates Elevated Only partially visible

Floor Joists Satisfactory 2x6 joists

Sub-Floor of Room(s) above Basement Satisfactory Planking

Column(s)/Pier(s)/Post(s)/Pillar(s) Satisfactory Wood

Floor/Concrete Slab Crack(s) that appear to be typical

Sump Pump(s) No sump pump installed in basement



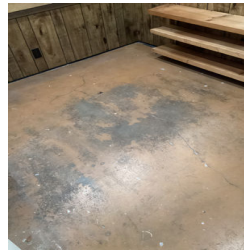
There is what appears to be a typical crack in the concrete slab/floor in the Basement.



There is what appears to be a typical crack in the concrete slab/floor in the Basement.



There is what appears to be a typical crack in the concrete slab/floor in the Basement.



There is what appears to be a typical crack in the concrete slab/floor in the Basement.



There is slight separation/cracking in mortar joints on the window connected to the sill, in the foundation wall in the Basement.

Comments: There is what appears to be a typical crack in the concrete slab/floor in the Basement. Recommend sealing the crack and monitoring. If the crack gets larger, or if more cracks appear, the client should consult with a qualified contractor/structural engineer to determine an appropriate course of action and all necessary repairs. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor" section of the report, which contains more information concerning cracks found in the home.

There is slight separation/cracking in mortar joints in the foundation wall in the Basement. It is difficult to determine if further separation or other damage may occur over time during a limited visual inspection. Home inspectors do not perform complete structural evaluations that include calculations or testing. At a minimum, recommend these areas be sealed by a skilled professional and monitored for any additional separation. If further separation/cracking occurs, a qualified contractor/structural engineer should evaluate this condition to determine an appropriate course of action and all necessary repairs. The client may wish to have further evaluation now. Note: also see the summary page "items to monitor section" which contains additional information concerning cracks that are found in the home.

General Basement/Room Components

Ceiling Satisfactory

Interior Walls Limited access. There may be defects present that were not visible. Crack(s) Crack(s) that appear to be typical

HVAC Register Vent(s) No HVAC register vent(s) present

Window(s) Moisture stain(s) near window(s). Appears to be active leak(s)/moisture intrusion.

Exterior Door(s) Satisfactory

Interior Door(s) Satisfactory

Electrical Outlet(s) No GFCI protection on outlet(s). Recommend GFCI protection be installed. Open junction box(es)

Electrical Switch(es) Satisfactory

Electrical Wiring Only partially visible

Ceiling Fan(s) None

Lighting Bulb(s) missing in fixture(s)**Deep Sink(s)** None Corroded supply line(s) Knob(s) loose

There is a moisture stain near a window in the Basement.



There is no GFCI protection on an electrical outlet in the Basement.



There is an open junction box in the Basement.



Bulb(s) are missing in light fixture(s) in the Basement.



Electrical wire covering broke, if left in this condition the wires could become damaged, recommend a qualified electrician further evaluation is needed.

Comments: There was limited access to the interior walls in the Basement. Only portions of the walls were visible. There may be defects present that were not visible or identified. The client should conduct a walk through prior to closing to determine if any defects are present.

There is a moisture stain near a window in the Basement. **Further evaluation is needed.** This area was tested with a surface moisture meter, and the meter indicated elevated levels of moisture when compared to surrounding areas. This appears to be an active leak/moisture intrusion. Recommend a qualified contractor evaluate this condition to determine the appropriate course of action and all necessary repairs.

There is no GFCI protection on an electrical outlet in the Basement. **This is a safety concern and shock hazard.** Recommend a qualified electrician make repair.

A knob is loose on a sink in the Basement. Damage may occur if left in this condition. Recommend a qualified plumber make all necessary repairs.

A sink water supply line is corroded in the Basement. Further deterioration and a leak may occur if left in this condition. Recommend a qualified plumber make all necessary repairs.

There is an open junction box in the Basement. The wiring is not properly protected. Recommend installing a proper cover.

There is a crack in a wall in the Basement. **Further evaluation is needed.** Further damage will occur if left in this condition. This may be evidence of structural movement. A qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs.

Bulb(s) are missing in light fixture(s) in the Basement. The light fixture(s) could not be fully evaluated. Recommend installing light bulbs so that the fixture(s) can be evaluated. If the fixtures fail to illuminate a qualified electrician should evaluate the fixture(s), and make all necessary repairs.

There is what appears to be a typical crack in an interior wall in the Basement. It is difficult to determine if further cracking or damage will occur during a limited visual inspection. At a minimum, this area of cracking should be repaired by a skilled professional and monitored. If further cracking or other defects appear, a qualified contractor should evaluate this condition to determine the appropriate course of action and all necessary repairs. The client may wish to have further evaluation now.

Attic Space

Status/Recommendation Satisfactory**Attic Access Location(s)** Bonus room(s)**Attic Entry Access Point(s)** Satisfactory Scuttle Hole/Hatch(es)**Attic Space Inspected From** Attic space inspected from floored in area(s) only Inside the attic Limited access. There may be defects present that were not identified.**Roof Structure**

Satisfactory Only partially visible Rafters

Ceiling Structure

Satisfactory Wood Only partially visible

Roof and Wall Sheathing

Not visible

Firewall(s)

N/A

Flooring in Attic

Satisfactory Recommend additional flooring be installed

Insulation installed:

Between ceiling joists Underside of roof decking

Insulation Condition

Satisfactory Only partially visible Fiberglass batting

Vapor Barriers

Satisfactory

Ventilation for attic space

Satisfactory Roof vent(s) Only partially visible

Electrical Outlet(s)/Switch(es)/Wiring/Lighting

No visible outlet(s)

Bath and other Exhaust fan(s)

Not visible

Chimney Chase(s)

None

Window(s)

None



Attic Space

Electrical Service Entry/Electrical Panel Enclosure(s)

Electrical Service Entry

Description

Overhead electrical service entry

Condition

Satisfactory



Electrical Service Entry

Main Electrical Panel Board Enclosure in the

Status/Recommendation

Satisfactory

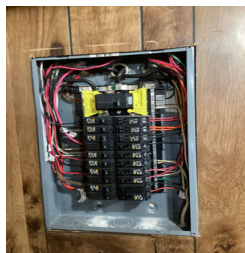
General Condition of Panel

Satisfactory Panel is full. There is no room to add additional circuit breakers.

Clearance	<input checked="" type="checkbox"/> Satisfactory
Amps/Volts	<input checked="" type="checkbox"/> 100 amps <input checked="" type="checkbox"/> 120-240 volts
Breakers/Fuses	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Breakers
Grounding	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Only partially visible
AFCI(s)	<input checked="" type="checkbox"/> None <input checked="" type="checkbox"/> Not required to test
GFCI(s)	<input checked="" type="checkbox"/> None
Main Wire Type/Condition	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Only partially visible <input checked="" type="checkbox"/> Stranded aluminum
Branch Wire Type/Condition	<input checked="" type="checkbox"/> Only partially visible <input checked="" type="checkbox"/> Stranded aluminum <input checked="" type="checkbox"/> Copper <input checked="" type="checkbox"/> Romex



Main Electrical Panel Board Enclosure in the



Main Electrical Panel Board Enclosure in the



There is an open knockout in the Main Electrical Panel Board Enclosure in the.



Main Electrical Panel Board Enclosure in the basement

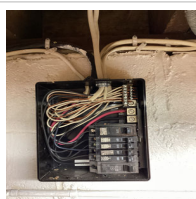
Comments: The Main Electrical Panel Board Enclosure in the is full and no breakers can be added to this panel. This information was provided as a courtesy to the client. If the client plans to add circuits to the electrical system in the home, the client should consult with a licensed electrical contractor.

Sub-Electrical Panel Board Enclosure in the

Status/Recommendation	<input checked="" type="checkbox"/> Satisfactory
General Condition of Panel	<input checked="" type="checkbox"/> Satisfactory
Clearance	<input checked="" type="checkbox"/> Satisfactory
Amps/Volts	<input checked="" type="checkbox"/> 120-240 volts
Breakers/Fuses	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Breakers
Grounding	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Only partially visible
AFCI(s)	<input checked="" type="checkbox"/> Not required to test
GFCI(s)	
Main Wire Type/Condition	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Only partially visible
Branch Wire Type/Condition	<input checked="" type="checkbox"/> Satisfactory <input checked="" type="checkbox"/> Only partially visible <input checked="" type="checkbox"/> Copper <input checked="" type="checkbox"/> Romex



Sub-Electrical Panel Board Enclosure in the



Sub-Electrical Panel Board Enclosure in the